

**PLAN COMMISSION**  
of the City of Platteville



**AGENDA**

**MONDAY, JANUARY 6, 2025 – 7:00 P.M.**

**COUNCIL CHAMBERS IN CITY HALL – 75 N. BONSON STREET, PLATTEVILLE WI**

1. ROLL CALL

2. APPROVE MINUTES – December 2, 2024

3. PUD AMENDMENT – Park Place Assisted Living

*Consider an amendment to the approved Planned Unit Development to allow an addition onto the Park Place assisted living facility at 1015 N. Elm Street.*

4. CERTIFIED SURVEY MAP and REZONE – Ioka Ridge Road

*Consider a zoning amendment and 4-lot Certified Survey Map to expand the Ioka Subdivision, which is located in the ET zoning area north of the City.*

5. ADJOURN

If you have concerns or comments related to an item on this agenda, but are unable to attend the meeting, please send the comments to [carrollj@platteville.org](mailto:carrollj@platteville.org) or call 608-348-9741 x 2235.

**PLAN COMMISSION**  
**Monday, December 2, 2024**

The regular meeting of the Plan Commission of the City of Platteville was called to order by Council President Barbara Daus at 7:00 PM in the Common Council Chambers of the Municipal Building.

**ROLL CALL:**

Present: Barbara Daus, Todd Kasper, Ciara Miller, Kory Wein

Excused: Robert Vosberg

**APPROVAL MINUTES – November 4, 2024**

Motion by Wein, second by Kasper to approve the November 4, 2024 minutes as presented. Motion carried on a voice vote.

**UWP STUDENT PRESENTATION** – UWP students Justin Mitchell, John Terrian, Garret Pasewald, and Vinny Liebergen presented design options for the former Rural Excavating property on Mineral Street and the adjacent City-owned property that was recently purchased from the Clare family. No action was taken but this information will be used to assist with future planning options for this property.

**CERTIFIED SURVEY MAP: Fire Station Property** – The Plan Commission considered the request to approve a Certified Survey Map that would combine the various parcels that make up the site of the proposed new fire station building.

Motion by Wein to approve the proposed Certified Survey Map. Second by Kasper. Motion carried on a roll call vote.

**ADJOURN:**

Motion by Wein, second by Kasper to adjourn. Motion carried on a voice vote.

Respectfully submitted,

Joe Carroll, Community Development Director

# STAFF REPORT

## CITY OF PLATTEVILLE

Community Planning & Development Department



**Meeting Dates:** Plan Commission – January 6, 2025  
Common Council – January 14, 2025 (Information)  
Common Council – January 28, 2025 (Action)

**Re:** Planned Unit Development Amendment

**Case #:** PC25-PUD01-03

**Location:** 1015 N. Elm Street

### Surrounding Uses and Zoning:

Direction	Land Use	Zoning	Comprehensive Plan
Property in Question	Park Place Assisted Living	I-1	Institutional
North	Residential	R-1	Low Density Residential
South	Residential	R-2	Medium Density Residential
East	Smith Park	C-1	Parks & Open Space
West	Residential	R-1	Low Density Residential

### I. BACKGROUND

1. In 2006, Elderspan Management received Planned Unit Development approval to allow the redevelopment of the former Southwest Health Center property into a multi-use complex to provide a variety of housing and other services to the elderly. The complex consists of four main components; an alzheimers/memory care facility, a frail-elderly assisted living facility, a geriatric psychiatric unit, and an elderly independent living apartment building. These four components are joined by a commons building that provides various support services and facilities for the complex.
2. The applicant is now requesting an amendment to the previous approval to allow for the expansion of the assisted living facility.

### II. PROJECT DESCRIPTION

3. The frail-elderly assisted living facility currently includes 26 units and support services. This facility is located on the south end of the site and shares parking with the main building and has access from Elm Street.

4. The proposed project would include a 7,700 sq. ft. expansion of the building to the east and a 5,900 sq. ft. expansion to the west. The expansion would be into areas of the site that are currently undeveloped. The expansion would provide 13 additional housing units, bringing the total to 39 units. The existing shared dining, activity, and storage areas would receive some modifications.

### **III. STAFF ANALYSIS**

5. The proposed project involves the expansion of an existing building into areas of the site that are undeveloped, so the local impacts will be relatively minor. In addition, the property occupies the entire block and doesn't share a boundary with any other property. As such, the project will not have a direct impact on any other properties. The project does not include any modifications to the access or parking for the complex. Staff has never observed the existing parking lot being anywhere close to full, so there are no concerns with parking for the expansion.

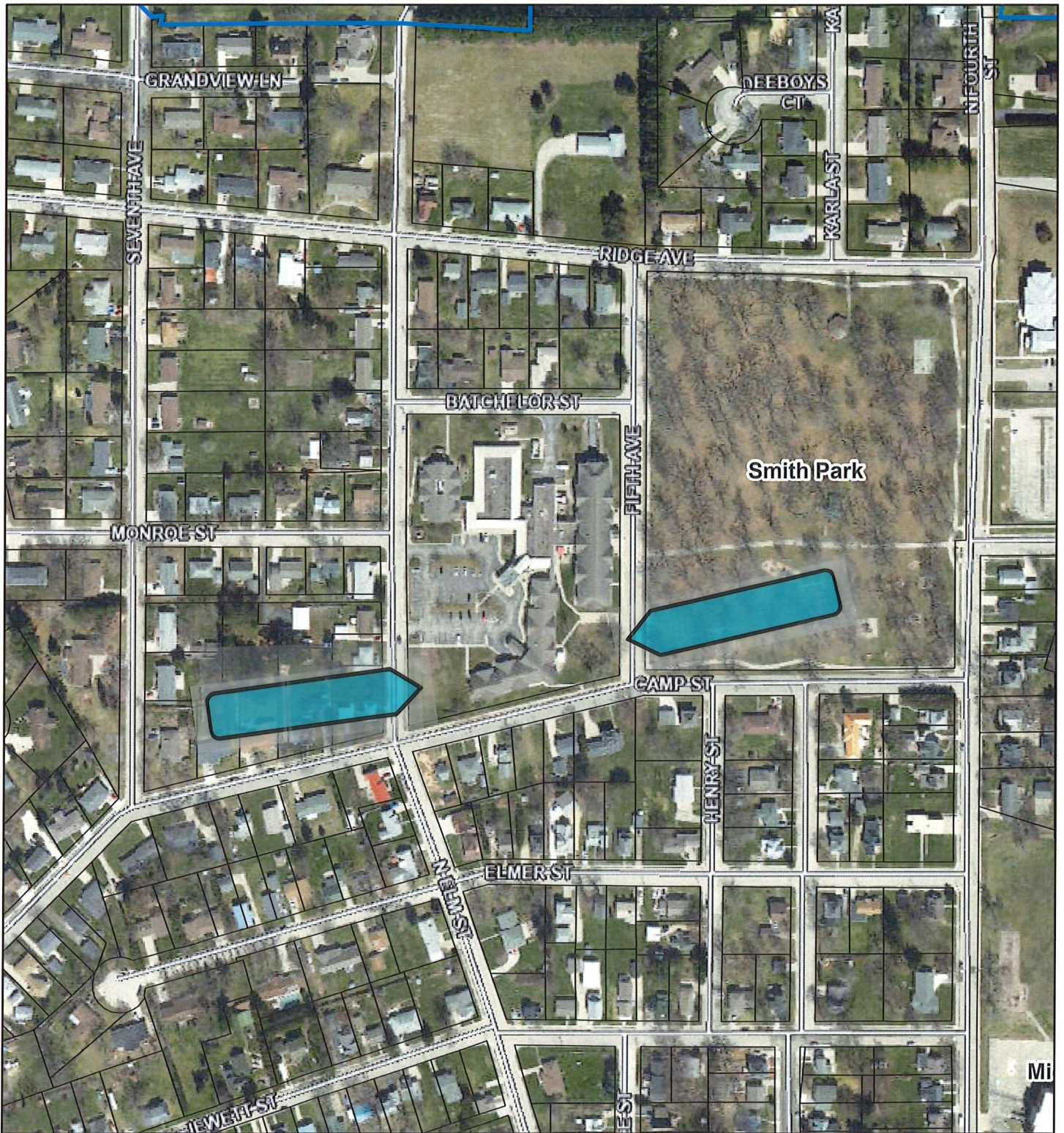
### **IV. STAFF RECOMMENDATION**

7. Staff recommends approval of the proposed PUD amendment to allow the construction of an expansion to the Park Place assisted living facility.

**ATTACHMENTS:** Location Map, Project Plans and Drawings

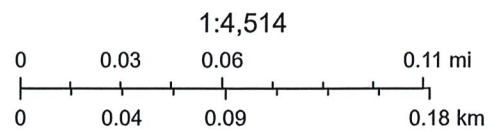


# City of Platteville



12/30/2024, 10:46:29 AM

-  Centerlines
-  City Boundary
-  Parcel Data (2023)







1100 Park Street  
 Suite 200  
 Platteville, WI 53888  
 608.785.1234  
 www.azk.com



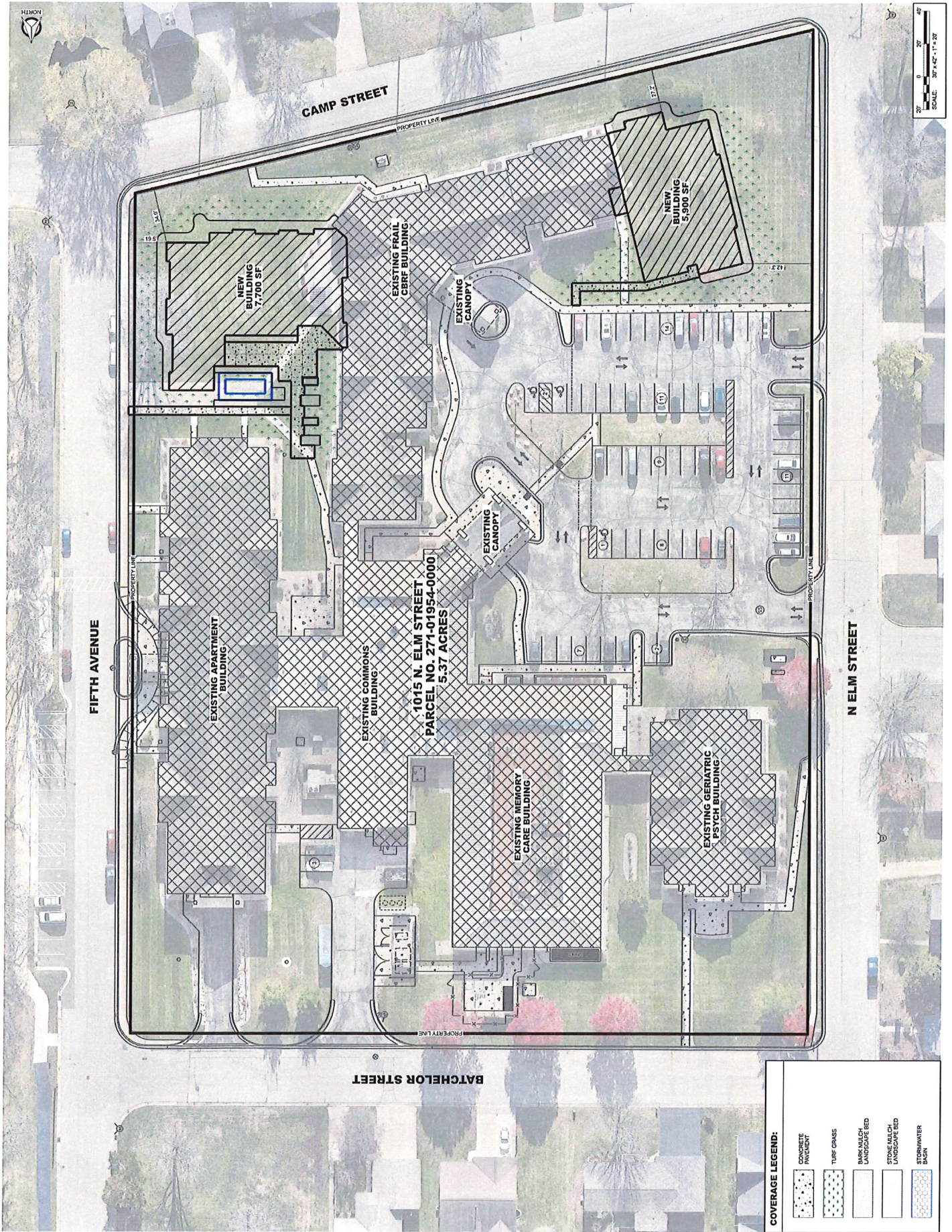
Edge Consulting Engineers, Inc.  
 1000 Park Street  
 Suite 200  
 Platteville, WI 53888  
 608.785.1234  
 www.edgeinc.com

CONSULTANT:  
 © Architecture 2000

PARK PLACE ASSISTED LIVING  
 1015 N. ELM STREET  
 PLATTEVILLE, WI 53818

NO. 1015 - 2019-0001  
 PROJECT #:  
 DATE: 12/20/24  
 REVISION:  
 SHEET PLAN

**C-101**

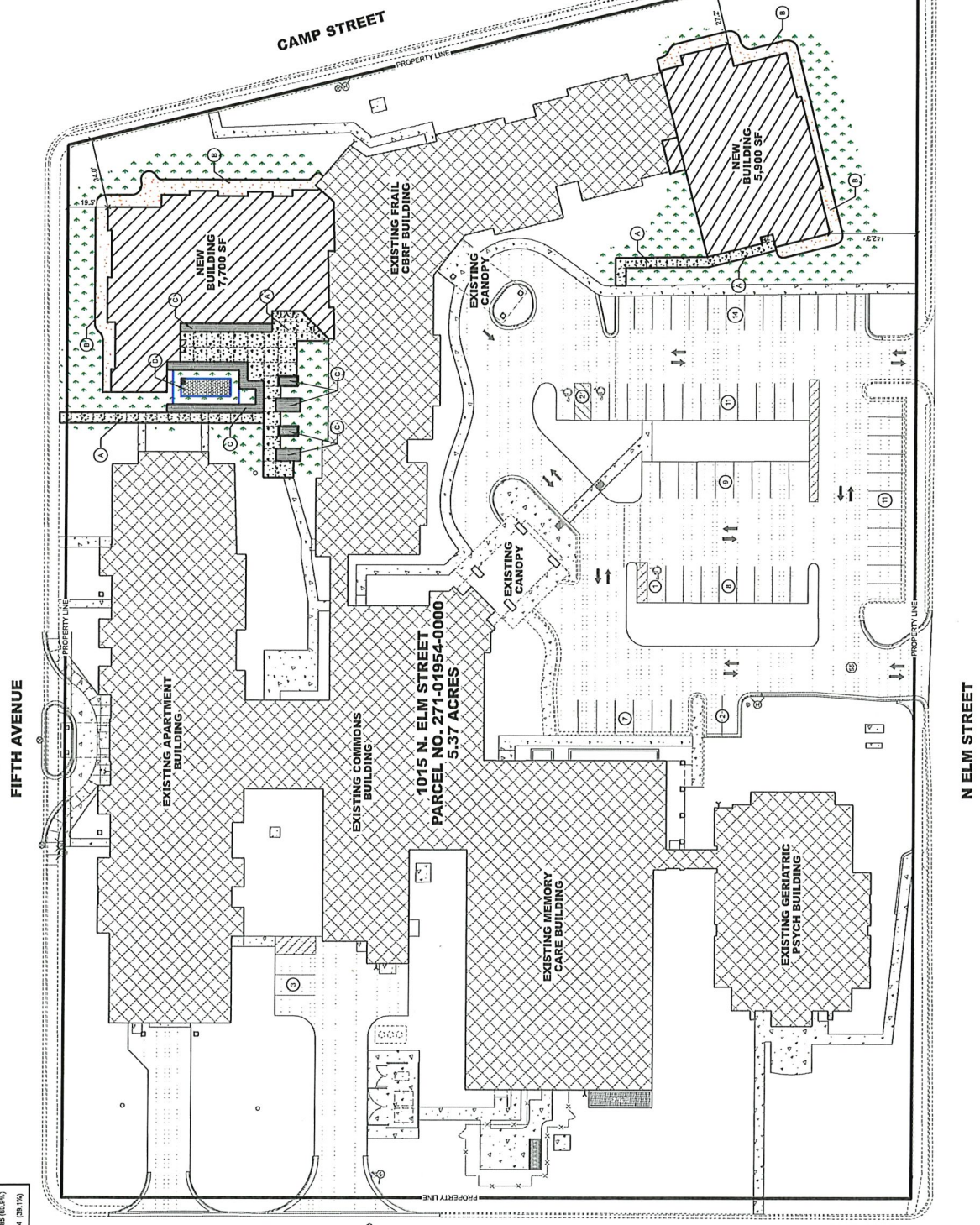
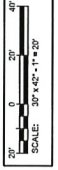


**COVERAGE LEGEND:**

	CONCRETE PAVEMENT
	TURF GRASS
	BARK/MULCH LANDSCAPE BED
	STEINER LAWN LANDSCAPE BED
	STORMWATER BASIN







**SITE COVERAGES:**

PROPERTY AREA:	EXISTING	PROPOSED
233,710 SF (5.37 ACRES)	68,675 (29.4%)	63,326 (27.1%)
BUILDING AREA:	59,586 (25.5%)	142,248 (60.9%)
PAVEMENT AREA:	109,241 (46.8%)	91,326 (39.1%)
TOTAL IMPERVIOUS AREA:	168,827 (72.3%)	233,574 (100.0%)

**ZONING SUMMARY:**

ZONING DISTRICT:	PERCENTAGE
I1 (INSTITUTIONAL)	79%
IR (RESIDENTIAL, SINGLE-FAMILY)	1%
IR-2 (RESIDENTIAL, SINGLE-FAMILY)	20%

**MAX. BUILDING HEIGHT:** 45'  
**BUILDING SETBACKS:** 25'  
**STREET SIDE:** 1' PER ADJACENT BUILDING HEIGHT (15' MIN.)

**PARKING SUMMARY:**

STANDARD STALLS:	EXISTING	PROPOSED
ADA STALLS:	3	3
TOTAL STALLS:	65	65

**KEYNOTES: (THIS SHEET)**

- A. CONCRETE SIDEWALK: SEE DETAIL BK-001
- B. STONE MULCH LANDSCAPE BED: SEE DETAIL BK-001
- C. BARK MULCH LANDSCAPE BED: SEE DETAIL BK-001
- D. STORMWATER BASIN: SEE DETAIL BK-001

**COVERAGE LEGEND:**

- CONCRETE PAVEMENT
- TURF GRASS
- BARK MULCH LANDSCAPE BED
- STONE MULCH LANDSCAPE BED
- STORMWATER BASIN



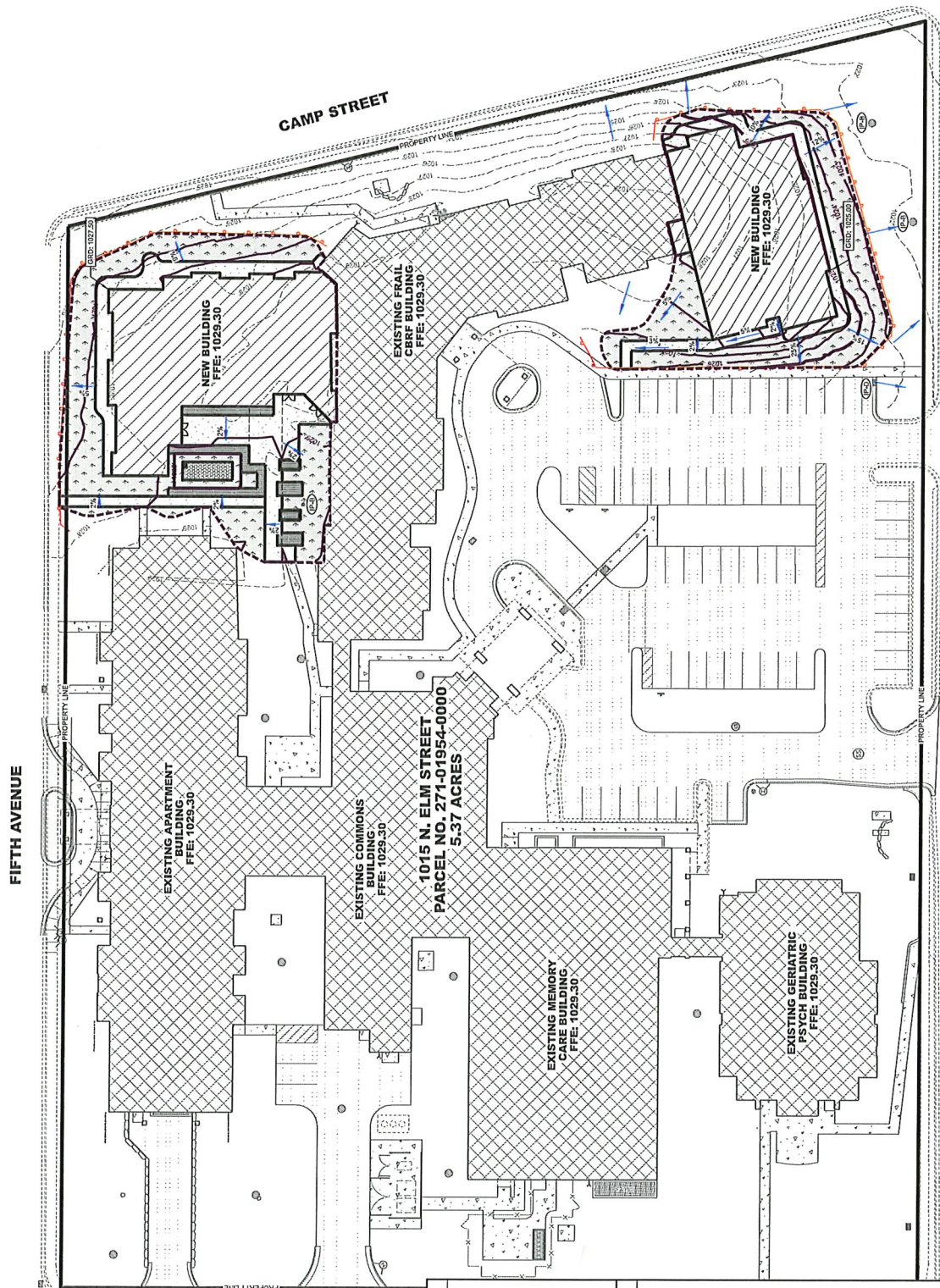
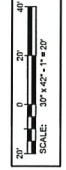




PARK PLACE ASSISTED LIVING  
 1015 N. ELM STREET  
 PLATEVILLE, WI 5318

PROJECT #:  
 DATE: 12/1/2024  
 OVERALL GRADING &  
 EROSION CONTROL PLAN

**C-103**



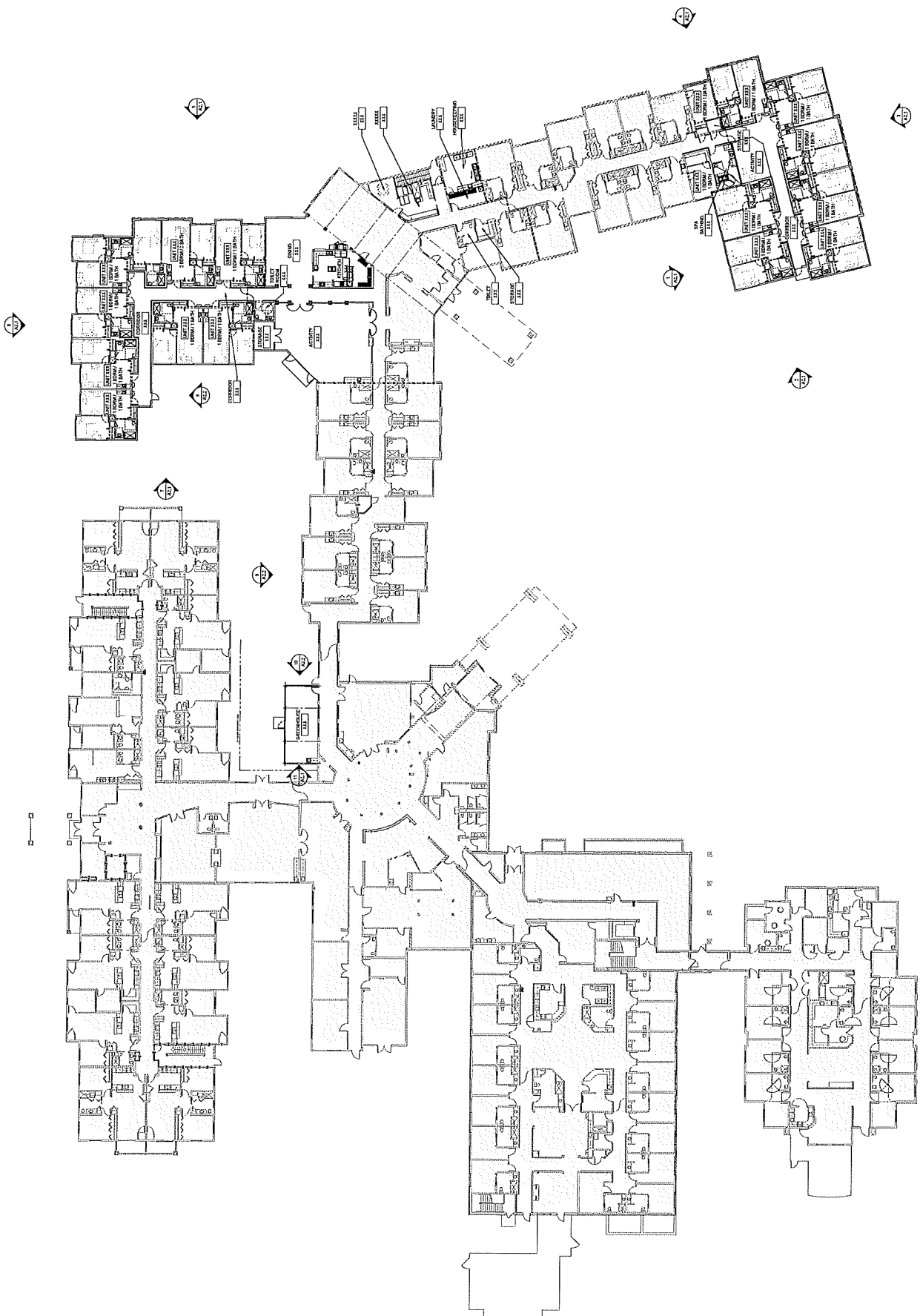
BATCHELOR STREET

- LEGEND: (THIS SHEET)**
- EXISTING CONTOUR GRADES
  - PROPOSED CONTOUR GRADES
  - EDGE OF CONCRETE
  - FLOW LINE
  - PROPOSED DRAINAGE SWATH
  - SILT FENCES - SEE DETAIL PC-001
  - LIMITS OF DISTURBANCE
  - CONTOUR INTERVAL, CLASS 1, TYPE II
  - INLET PROTECTION, TYPE B & D

- GRADING NOTES: (THIS SHEET)**
1. CONTOUR INTERVALS 1 FOOT. ALL GRADING SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRUBBING OPERATIONS. STONE BREAKER STONE SHALL BE 12" X 20" MIN. CONSISTING OF 3" GRANULAR FILL.
  2. CONTRACTOR SHALL INSTALL ADDITIONAL EROSION CONTROL MEASURES FOR SLOPES GREATER THAN 4:1. SLOPE BOTTOMS SHALL BE FINISHED WITH 18" OF 1/2" SAND OR EQUIVALENT. DOUBLE NET EROSION CONTROL BLANKET SHALL BE INSTALLED ON ALL SLOPES GREATER THAN 4:1. SLOPE BOTTOMS SHALL BE FINISHED WITH 18" OF 1/2" SAND OR EQUIVALENT. TOPSOIL SHALL BE 2" MINIMUM. TOPSOIL SHALL BE 2" MINIMUM. TOPSOIL SHALL BE 2" MINIMUM.
  3. CONTRACTOR SHALL GRADUALLY MATCH INTO EXISTING GRADE. NO PROPOSED BATHWORK SHALL HAVE A GREATER FINISHED GRADE THAN EXISTING GRADE. FINISHED GRADE SHALL BE GRADUALLY MATCHED TO EXISTING GRADE WITHIN 2 FEET OF PUBLIC ROAD ACCESS.
  4. FINISHED GRADE SHALL BE GRADUALLY MATCHED TO EXISTING GRADE WITHIN 2 FEET OF PUBLIC ROAD ACCESS.
  5. FINISHED GRADE SHALL BE GRADUALLY MATCHED TO EXISTING GRADE WITHIN 2 FEET OF PUBLIC ROAD ACCESS.
  6. FINISHED GRADE SHALL BE GRADUALLY MATCHED TO EXISTING GRADE WITHIN 2 FEET OF PUBLIC ROAD ACCESS.
  7. FINISHED GRADE SHALL BE GRADUALLY MATCHED TO EXISTING GRADE WITHIN 2 FEET OF PUBLIC ROAD ACCESS.
  8. FINISHED GRADE SHALL BE GRADUALLY MATCHED TO EXISTING GRADE WITHIN 2 FEET OF PUBLIC ROAD ACCESS.
  9. FINISHED GRADE SHALL BE GRADUALLY MATCHED TO EXISTING GRADE WITHIN 2 FEET OF PUBLIC ROAD ACCESS.
  10. FINISHED GRADE SHALL BE GRADUALLY MATCHED TO EXISTING GRADE WITHIN 2 FEET OF PUBLIC ROAD ACCESS.

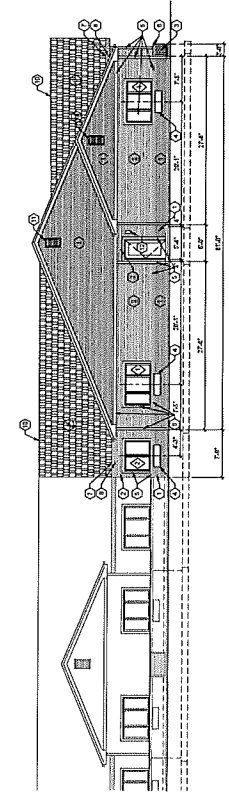
**STORMWATER BASIN GRADING NOTES:**

BOTTOM AREA:	211 SF
BOTTOM ELEV:	1027.00
DEPTH:	1.00
STORAGE VOLUME:	354 CF
SEE DETAIL E-001	

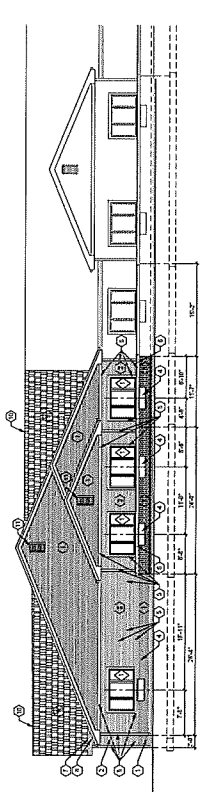


1 OVERALL GROUND FLOOR PLAN

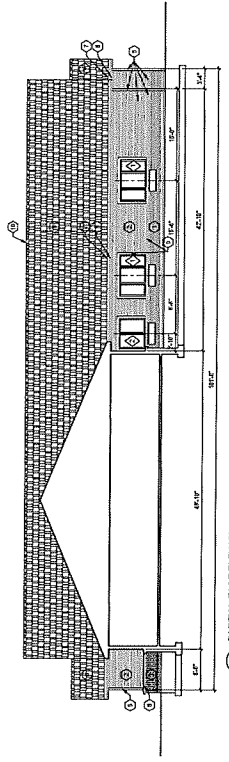
SCALE 1/8" = 1'-0" NORTH



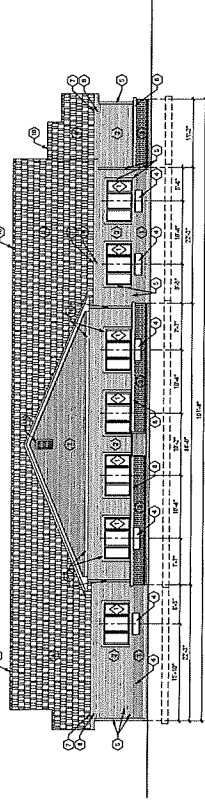
2 PARTIAL NORTH ELEVATION - WEST WING  
 SCALE: 1/8" = 1'-0"



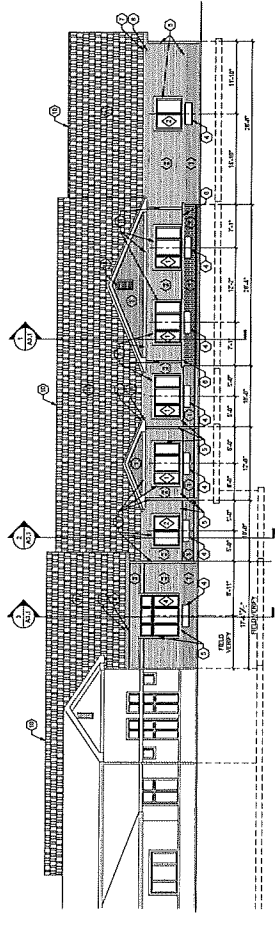
4 PARTIAL SOUTH ELEVATION - WEST WING  
 SCALE: 1/8" = 1'-0"



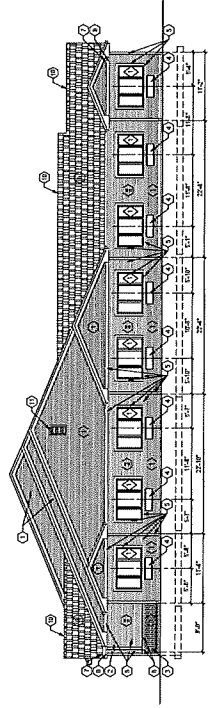
1 PARTIAL EAST ELEVATION - WEST WING  
 SCALE: 1/8" = 1'-0"



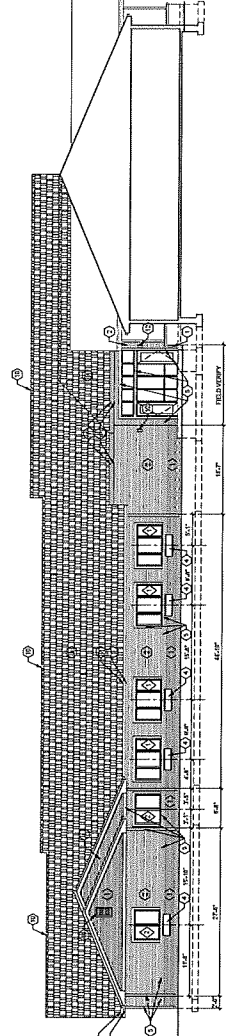
3 PARTIAL WEST ELEVATION - WEST WING  
 SCALE: 1/8" = 1'-0"



5 PARTIAL SOUTH ELEVATION - EAST WING  
 SCALE: 1/8" = 1'-0"



6 PARTIAL EAST ELEVATION - EAST WING  
 SCALE: 1/8" = 1'-0"

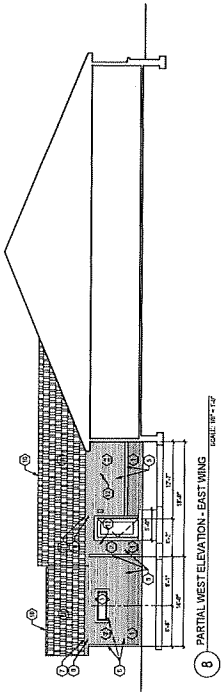


7 PARTIAL NORTH ELEVATION - EAST WING  
 SCALE: 1/8" = 1'-0"

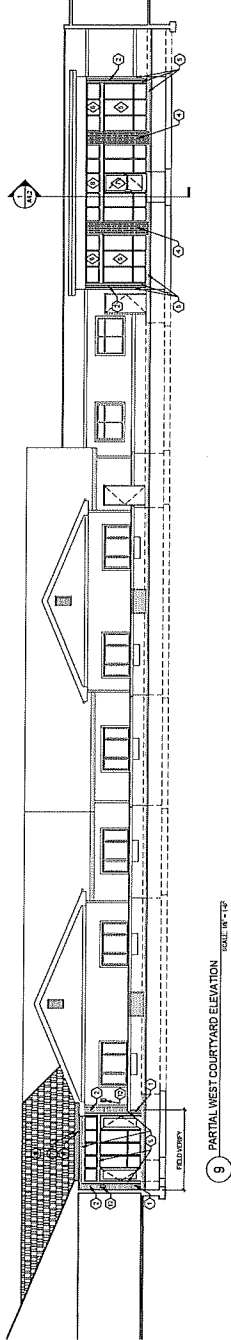
- ELEVATION COLORED NOTES:**
- 1 IMPERIAL LIME BRICK - DARK COLOR TO MATCH EXISTING BRICK.
  - 2 IMPERIAL LIME BRICK - LIGHT COLOR TO MATCH EXISTING BRICK.
  - 3 RED BRICK VENEER - MATCH EXISTING BRICK.
  - 4 FACED BRICK VENEER - MATCH EXISTING BRICK.
  - 5 BRICK VENEER - MATCH EXISTING BRICK.
  - 6 BRICK VENEER - MATCH EXISTING BRICK.
  - 7 PRECAST CONCRETE BLOCK WITH NO EXISTING SILL.
  - 8 PRECAST CONCRETE BLOCK WITH NO EXISTING SILL.
  - 9 PRECAST CONCRETE BLOCK WITH NO EXISTING SILL.
  - 10 ASPHALT TERRAZZO WITH NO EXISTING SILL.
  - 11 ASPHALT TERRAZZO WITH NO EXISTING SILL.
  - 12 ASPHALT TERRAZZO WITH NO EXISTING SILL.
  - 13 ASPHALT TERRAZZO WITH NO EXISTING SILL.
  - 14 LIGHT BRICK VENEER WITH ELECTRICAL CONDUITING.

- ELEVATION LEGEND**
- 1 IMPERIAL LIME BRICK - DARK
  - 2 IMPERIAL LIME BRICK - LIGHT
  - 3 RED BRICK VENEER - DARK
  - 4 FACED BRICK VENEER - LIGHT
  - 5 BRICK VENEER - DARK
  - 6 BRICK VENEER - LIGHT
  - 7 PRECAST CONCRETE BLOCK WITH NO EXISTING SILL
  - 8 PRECAST CONCRETE BLOCK WITH NO EXISTING SILL
  - 9 PRECAST CONCRETE BLOCK WITH NO EXISTING SILL
  - 10 ASPHALT TERRAZZO WITH NO EXISTING SILL
  - 11 ASPHALT TERRAZZO WITH NO EXISTING SILL
  - 12 ASPHALT TERRAZZO WITH NO EXISTING SILL
  - 13 ASPHALT TERRAZZO WITH NO EXISTING SILL
  - 14 LIGHT BRICK VENEER WITH ELECTRICAL CONDUITING

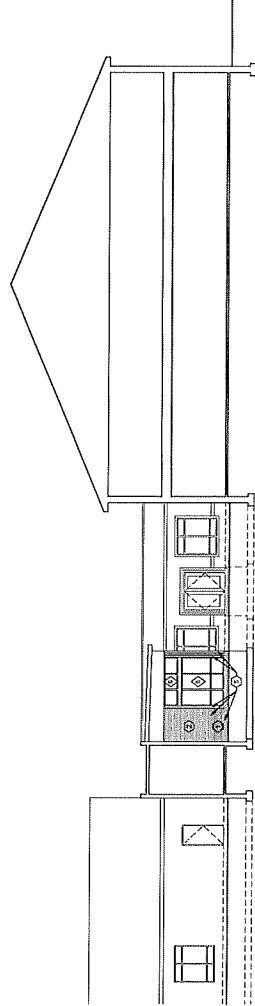
- EXTERIOR ELEVATION GENERAL NOTES**
1. SEE GENERAL NOTES FOR MATERIALS AND FINISHES.
  2. SEE GENERAL NOTES FOR MATERIALS AND FINISHES.
  3. SEE GENERAL NOTES FOR MATERIALS AND FINISHES.
  4. SEE GENERAL NOTES FOR MATERIALS AND FINISHES.
  5. SEE GENERAL NOTES FOR MATERIALS AND FINISHES.
  6. SEE GENERAL NOTES FOR MATERIALS AND FINISHES.
  7. SEE GENERAL NOTES FOR MATERIALS AND FINISHES.
  8. SEE GENERAL NOTES FOR MATERIALS AND FINISHES.
  9. SEE GENERAL NOTES FOR MATERIALS AND FINISHES.
  10. SEE GENERAL NOTES FOR MATERIALS AND FINISHES.



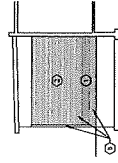
8 PARTIAL WEST ELEVATION - EAST WING SCALE 1/8" = 1'-0"



9 PARTIAL WEST COURTYARD ELEVATION SCALE 1/8" = 1'-0"



10 PARTIAL NORTH COURTYARD ELEVATION SCALE 1/8" = 1'-0"



11 PARTIAL NORTH COURTYARD ELEVATION SCALE 1/8" = 1'-0"

**ELEVATION LEGEND**

- 1 - HORIZONTAL LINE
- 2 - HORIZONTAL LINE - DARK
- 3 - HORIZONTAL LINE - LIGHT
- 4 - HORIZONTAL LINE - LIGHT
- 5 - HORIZONTAL LINE - LIGHT
- 6 - HORIZONTAL LINE - LIGHT
- 7 - HORIZONTAL LINE - LIGHT
- 8 - HORIZONTAL LINE - LIGHT
- 9 - HORIZONTAL LINE - LIGHT
- 10 - HORIZONTAL LINE - LIGHT

**EXTERIOR ELEVATION GENERAL NOTES**

1. SEE PROJECT TO DETERMINE MATERIALS AND FINISHES.
2. MATERIALS AND FINISHES TO BE DETERMINED BY THE ARCHITECT.
3. ALL MATERIALS AND FINISHES TO BE DETERMINED BY THE ARCHITECT.
4. ALL MATERIALS AND FINISHES TO BE DETERMINED BY THE ARCHITECT.
5. ALL MATERIALS AND FINISHES TO BE DETERMINED BY THE ARCHITECT.

**ELEVATION COORD NOTES:**

1. HORIZONTAL LINE - DARK COLOR TO MATCH COORDING DRAWING.
2. HORIZONTAL LINE - LIGHT COLOR TO MATCH COORDING DRAWING.
3. HORIZONTAL LINE - LIGHT COLOR TO MATCH COORDING DRAWING.
4. HORIZONTAL LINE - LIGHT COLOR TO MATCH COORDING DRAWING.
5. HORIZONTAL LINE - LIGHT COLOR TO MATCH COORDING DRAWING.
6. HORIZONTAL LINE - LIGHT COLOR TO MATCH COORDING DRAWING.
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8. HORIZONTAL LINE - LIGHT COLOR TO MATCH COORDING DRAWING.
9. HORIZONTAL LINE - LIGHT COLOR TO MATCH COORDING DRAWING.
10. HORIZONTAL LINE - LIGHT COLOR TO MATCH COORDING DRAWING.





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CONSULTANT:  
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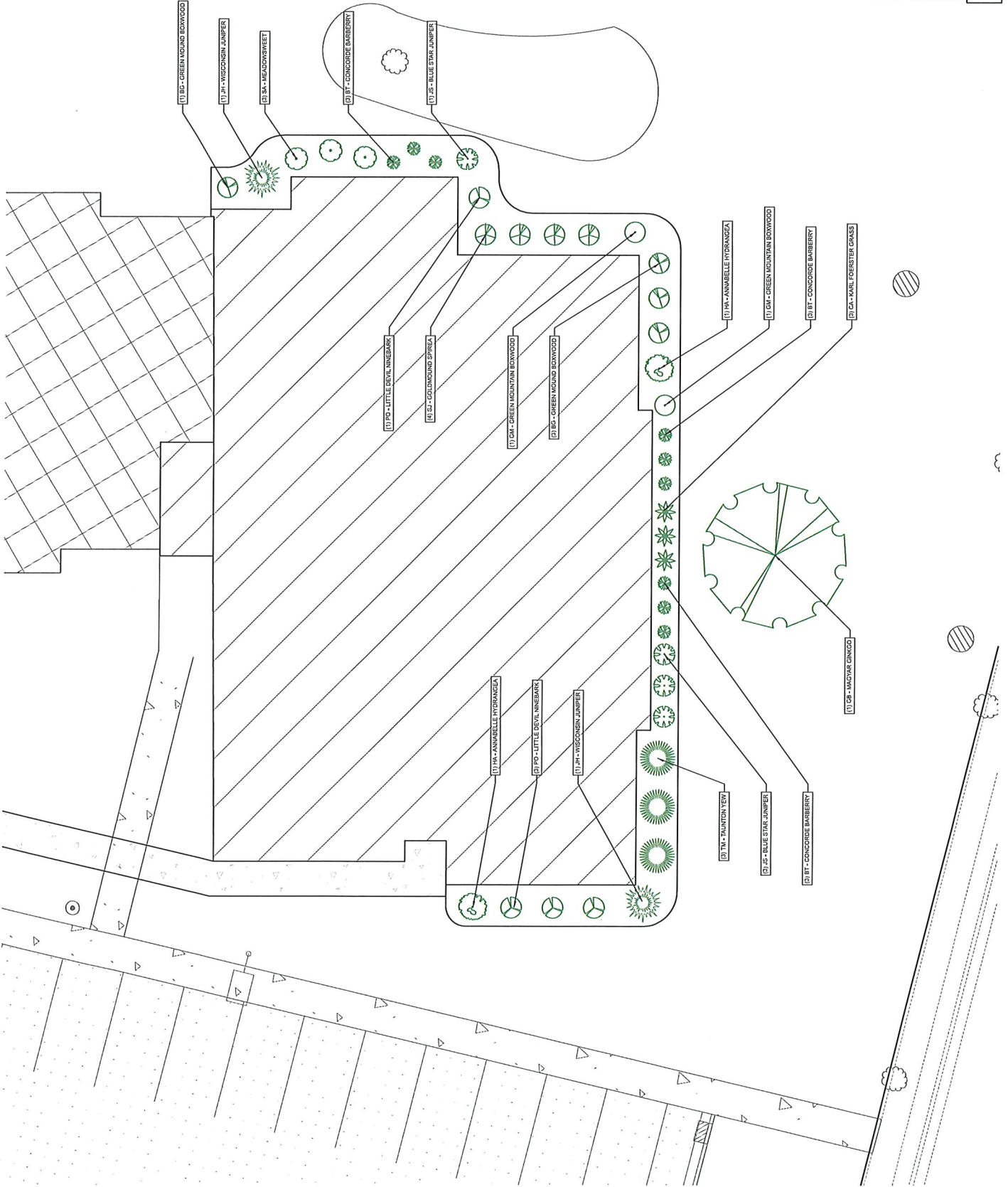


PARK PLACE ASSISTED LIVING  
 1015 N. ELM STREET  
 PLATTEVILLE, WI 53188

DATE:	12/20/2014
PROJECT #:	210601
LANDSCAPING PLAN - WEST	

DATE: 12/20/2014  
 PROJECT #: 210601  
 LANDSCAPING PLAN - WEST

L-101



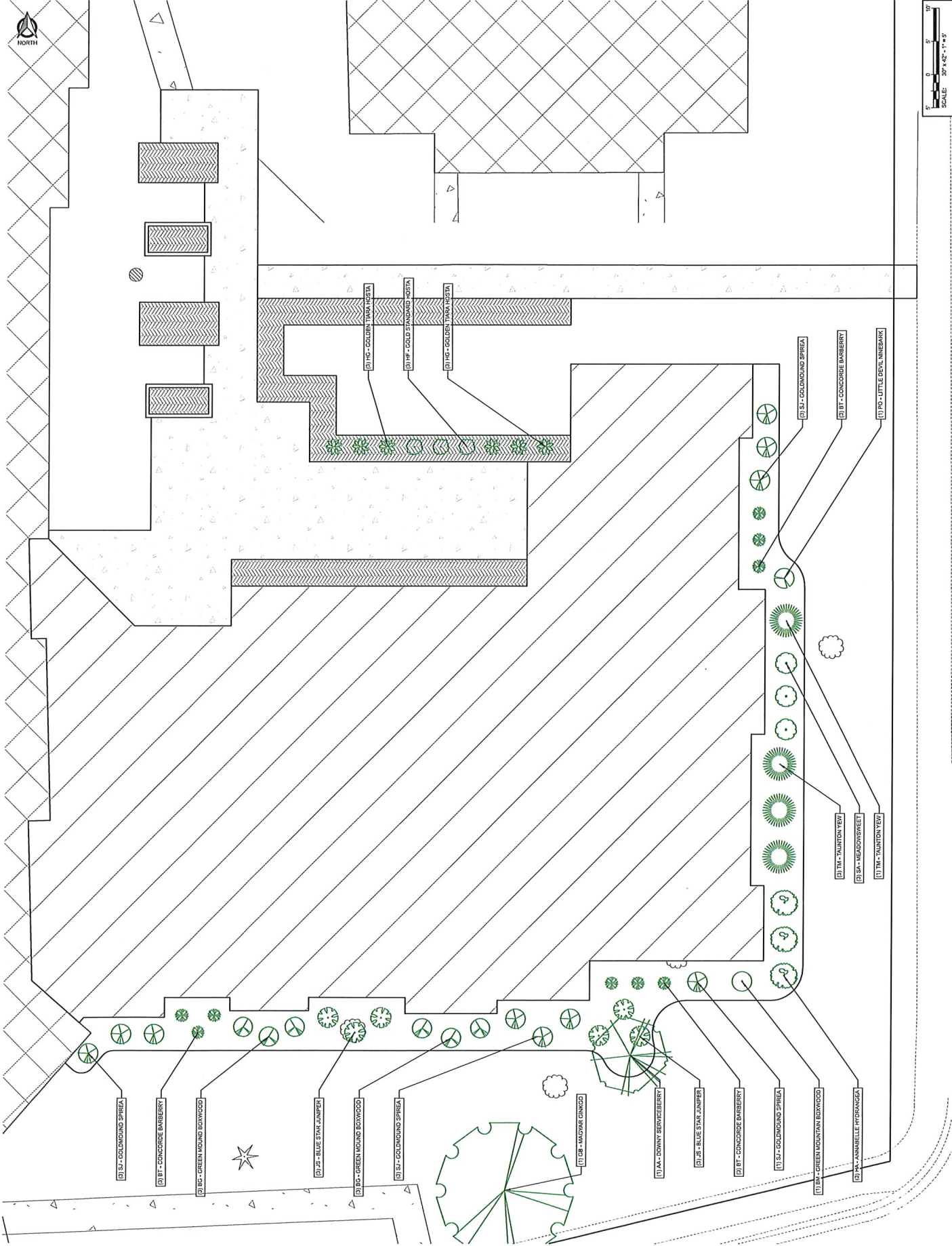




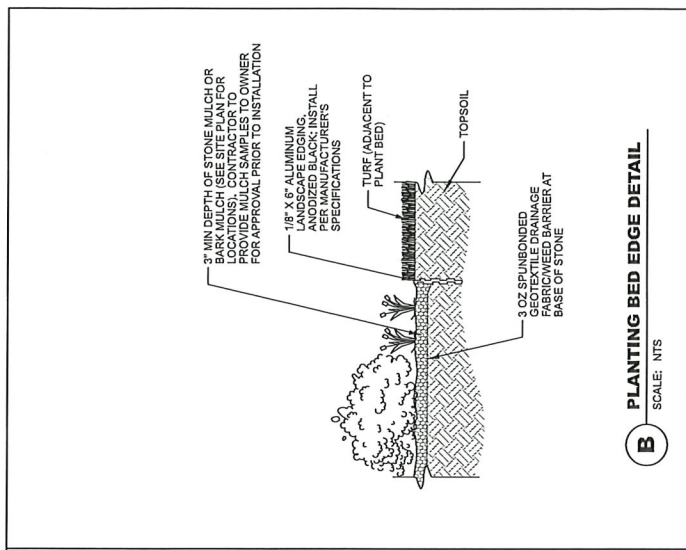
PARK PLACE ASSISTED LIVING  
1015 N. ELM STREET  
PLATTEVILLE, WI 53818

SUN. INT. - HIGH TRAFFIC  
DATE: 2/16/21  
PRODUCT #: 1320304  
LANDSCAPING PLAN - EAST

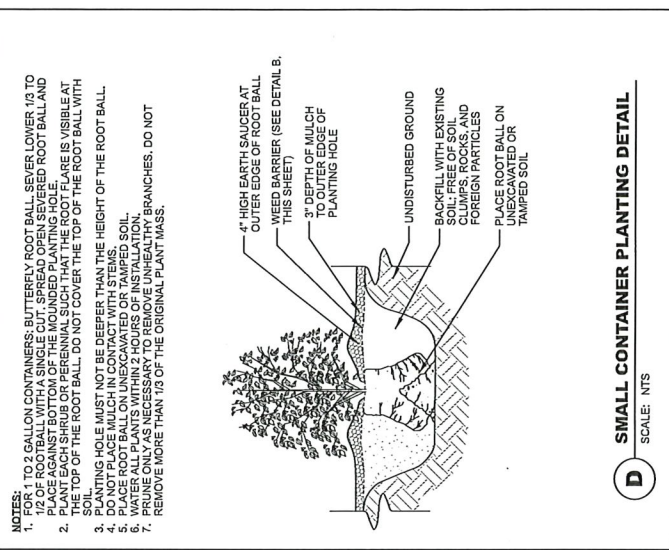
**L-102**



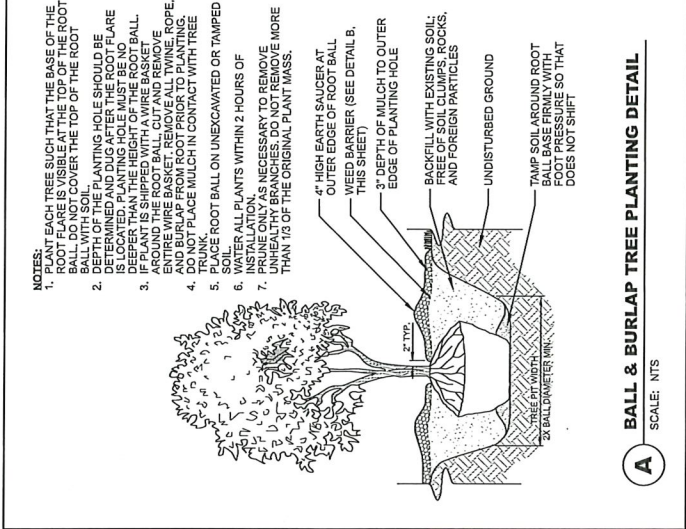
- (2) S7 - GOLDMOUND SPIREA
- (2) B1 - CONCORDE BARBERRY
- (2) B6 - GREEN MOUND BOXWOOD
- (2) J4 - BLUE STAR JUNIPER
- (2) B6 - GREEN MOUND BOXWOOD
- (2) S7 - GOLDMOUND SPIREA
- (1) T4 - DOWNY SERVICEBERRY
- (2) J6 - BLUE STAR JUNIPER
- (2) B1 - CONCORDE BARBERRY
- (1) S7 - GOLDMOUND SPIREA
- (1) B6 - GREEN MOUNTAIN BOXWOOD
- (2) J4 - ANNABELLE HYDRANGEA
- (1) T4 - JUNCTION YEW
- (2) S4 - MEGADOWNSWEET
- (1) T4 - JUNCTION YEW
- (2) S2 - GOLDMOUND SPIREA
- (2) B1 - CONCORDE BARBERRY
- (1) J6 - LITTLE DEVIL UNIBERRY



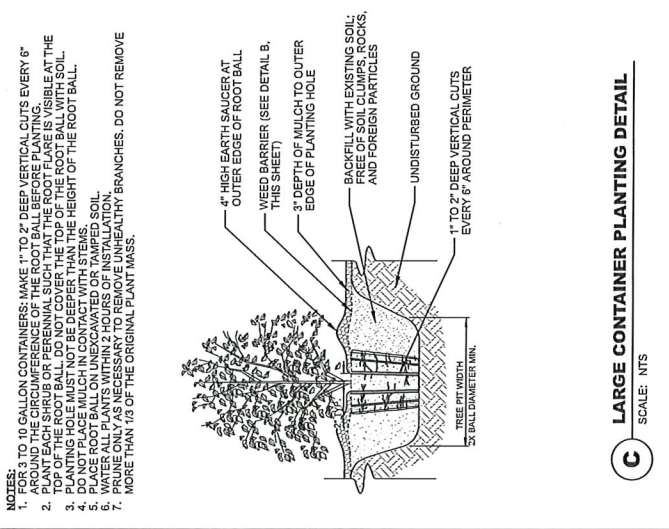
**B PLANTING BED EDGE DETAIL**  
 SCALE: NTS



**D SMALL CONTAINER PLANTING DETAIL**  
 SCALE: NTS



**A BALL & BURLAP TREE PLANTING DETAIL**  
 SCALE: NTS

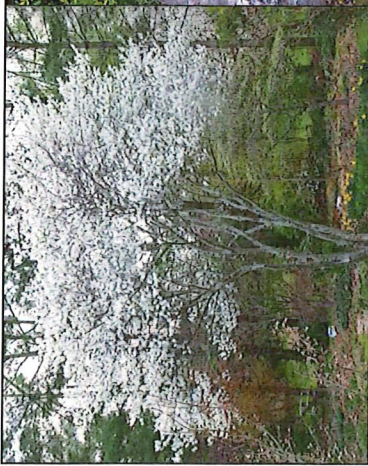


**C LARGE CONTAINER PLANTING DETAIL**  
 SCALE: NTS

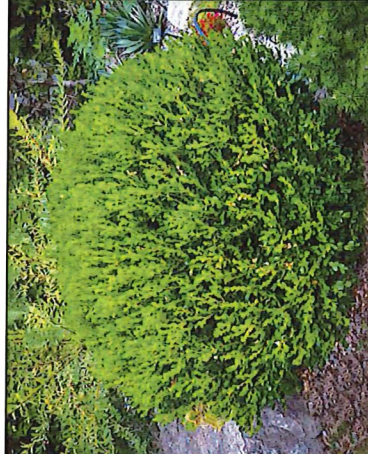
**41246 Elderspan (Park Place) Plant Schedule**  
 Landscape Point Summary

Symbol	Quantity	Scientific Name	Common Name	Height	Spread	Size	Points Each	Total Points
<b>Trees</b>								
AA	1	Ametanther arborea	Downy Serviceberry	15-25'	10-12'	2" 1/8"	20	20
GB	2	Galago biloba 'Magor'	Magor Ginkgo	50'	25'	2-1/2' 1/8"	30	60
<b>Shrubs</b>								
BG	10	Bleu x 'Green Mountain'	Green Mound Dogwood	3'	3'	3 gal.	10	100
BM	3	Bleu x 'Green Mountain'	Green Mountain Boxwood	5'	3'	3 gal.	15	45
BT	18	Berberis thunbergii 'Concorda'	Concorda Japanese Barberry	2'	2'	3 gal.	10	180
HA	5	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	4'	4'	3 gal.	15	75
PO	5	Physocarpus opulifolius 'Donna Meyer'	Little Devil Ninebark	3-4'	3-4'	3 gal.	10	50
SA	6	Spirea alba	Headspringweert	3-5'	3-5'	3 gal.	10	60
SI	14	Spirea japonica 'Goldmound'	Goldmound Spirea	2'	2-3'	3 gal.	10	140
<b>Evergreens</b>								
JH	2	Juniperus horizontalis 'Wisconsin'	Wisconsin Juniper	8'	5'	3 gal.	5	10
J5	10	Juniperus squamata 'Blue Star'	Blue Star Juniper	2'	3-4'	3 gal.	5	50
TM	7	Taxus canadensis 'Tussockii'	Tussock Yew	3-5'	6-8'	3 gal.	15	105
<b>Perennials</b>								
CA	3	Callimagnotis acutiflora 'Karl Foerster'	Karl Foerster Grass	4-5'	2'	3 gal.	5	15
HF	3	Hosta (various)	Gold Standard Hosta	24-30"	3'	1 gal.	5	15
HG	6	Hosta (various)	Golden Thread Hosta	10-18"	2-3'	1 gal.	5	30
							<b>Total Points</b>	<b>255</b>

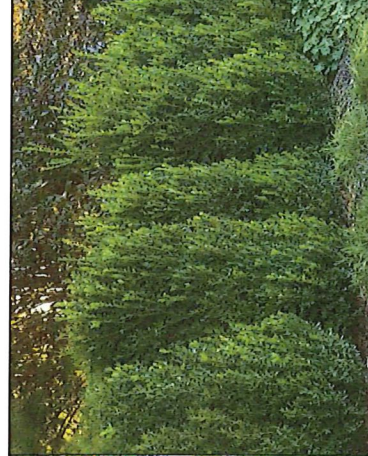




**Downy Serviceberry**  
*Amelanchier arborea*



**Green Mound Boxwood**  
*Buxus x 'Green Mound'*



**Green Mountain Boxwood**  
*Buxus x 'Green Mountain'*



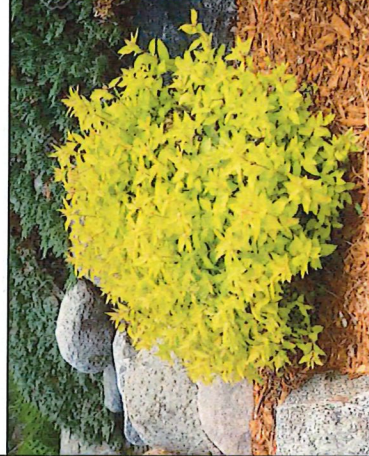
**Blue Star Juniper**  
*Juniperus squamata 'Blue Star'*



**Little Devil Ninebark**  
*Physocarpus opulifolius 'Donna May'*



**Meadowsweet**  
*Spiraea alba*



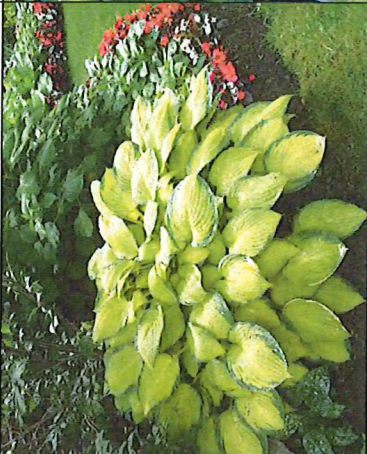
**Goldmound Spirea**  
*Spiraea japonica 'Goldmound'*



**Feather Reed Grass**  
*Calamagrostis acutiflora 'Karl Foerster'*



**Annabelle Hydrangea**  
*Hydrangea arborescens 'Annabelle'*



**Gold Standard Hosta**  
*Hosta fortunei 'Gold Standard'*



**Golden Tiara Hosta**  
*Hosta 'Golden Tiara'*



**Concorde Japanese Barberry**  
*Berberis thunbergii 'Concorde'*



**STAFF REPORT**

**CITY OF PLATTEVILLE**

Community Planning & Development Department



**Meeting Date:** January 6, 2025  
**Re:** Rezoning and Certified Survey Map  
**Case #:** PC25-RZ01-01, PC25-CSM01-02  
**Applicant:** Gerard Abing  
**Location:** South end of Ioka Ridge Road, north of the City

**Surrounding Uses and Zoning:**

Direction	Land Use	Zoning	Comprehensive Plan
Property in Question	Agriculture	A-T Agricultural Transition (ET)	Low Density Residential
North	Residential/Agriculture	A-2 Agriculture (county)	Low Density Residential
South	Agriculture	R-1 Residential (ET)	Low Density Residential
East	Residential/Agriculture	R-1 Residential (ET)	Low Density Residential
West	Agriculture	A-T Agricultural Transition (ET)	Agriculture

**BACKGROUND**

1. The property is located within the ET plat review area and zoning area of the City of Platteville/Platteville Township. The applicant would like to rezone a 37-acre parcel and divide the property to create four lots.
2. The proposed lots would be an extension of the previously approved Ioka Ridge Subdivision.

**PROJECT DESCRIPTION**

3. The applicant owns 37 acres of land at the south end of Ioka Ridge Road north of the City. The land is currently zoned A-T Agricultural Transition. This district is intended for lands that have historically been used for agricultural purposes but are located in areas planned for future development. The comprehensive plan designates this area for future residential development. The proposal is to change the zoning to R-1 Single-Family Residential and subdivide part of the land to create four additional lots.

4. The lots range in size from 1.52 acres to 1.87 acres and will have 200 to 250 feet of frontage on an extension of Ioka Ridge Road. A temporary cul-de-sac will also be provided at the end of Ioka Ridge Road to provide adequate space for vehicles to turn around.

**STAFF ANALYSIS**

5. The land division meets the requirements of the City's subdivision ordinance for lot size and lot frontage. The outlot for the future street right-of-way has adequate width for street purposes and the street is designed to be extended in the future.
6. The proposed use of the lots as single-family residential is in compliance with the proposed plans for this area. The Comprehensive Plan designates this land as Low Density Residential development. The lots are located adjacent to existing residential development, which is recommended by the Plan. The proposed R-1 Residential district is in compliance with the plan designation and matches the zoning for the other development adjacent lots.

**STAFF RECOMMENDATION**

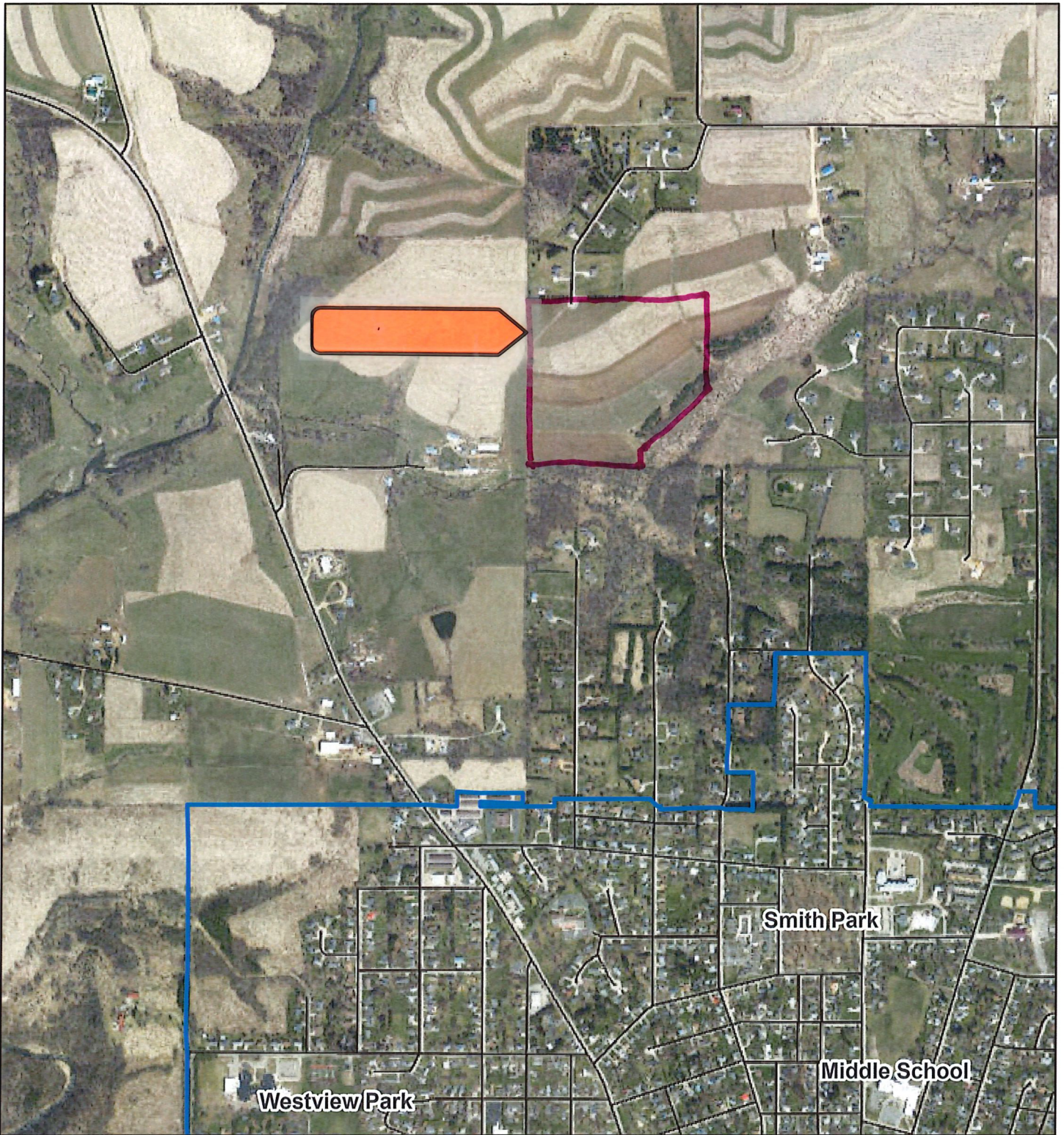
7. Staff recommends approval of the proposed rezoning to R-1 Residential and approval of the Certified Survey Map to create four lots.

**ATTACHMENTS:**

1. Location map, draft certified survey map, zoning map

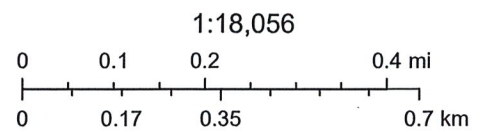


# City of Platteville



12/30/2024, 1:57:06 PM

- Centerlines
- City Boundary





# City of Platteville Public GIS Viewer

This map is for advisory purposes only. The data provided in this online reference map is for informational purposes only and the City of Platteville assumes no legal responsibility for the information contained in this data nor is it intended to be used as such. This web application is not to be used for appraisals, assessments, or other property valuations. This web application is not to be used for legal documentation, boundary survey data or other property related issues.

- Platteville GIS Layers
- Platteville Parks
- Platteville Parking

## Platteville Places Public GIS



Layer List

Layers

- Voting - Polling Locations
- Public Trees
- Address Points Public View
- 2024 Parcel Boundaries
- Zoning (By Parcel)
- ET Zoning
  - A-T Agricultural
  - C-1 General Commercial & Industrial
  - R-1 Residential
  - R-2 Residential
  - Conservancy
  - Parking
  - Historic Districts
  - Approved ATV/UTV Routes



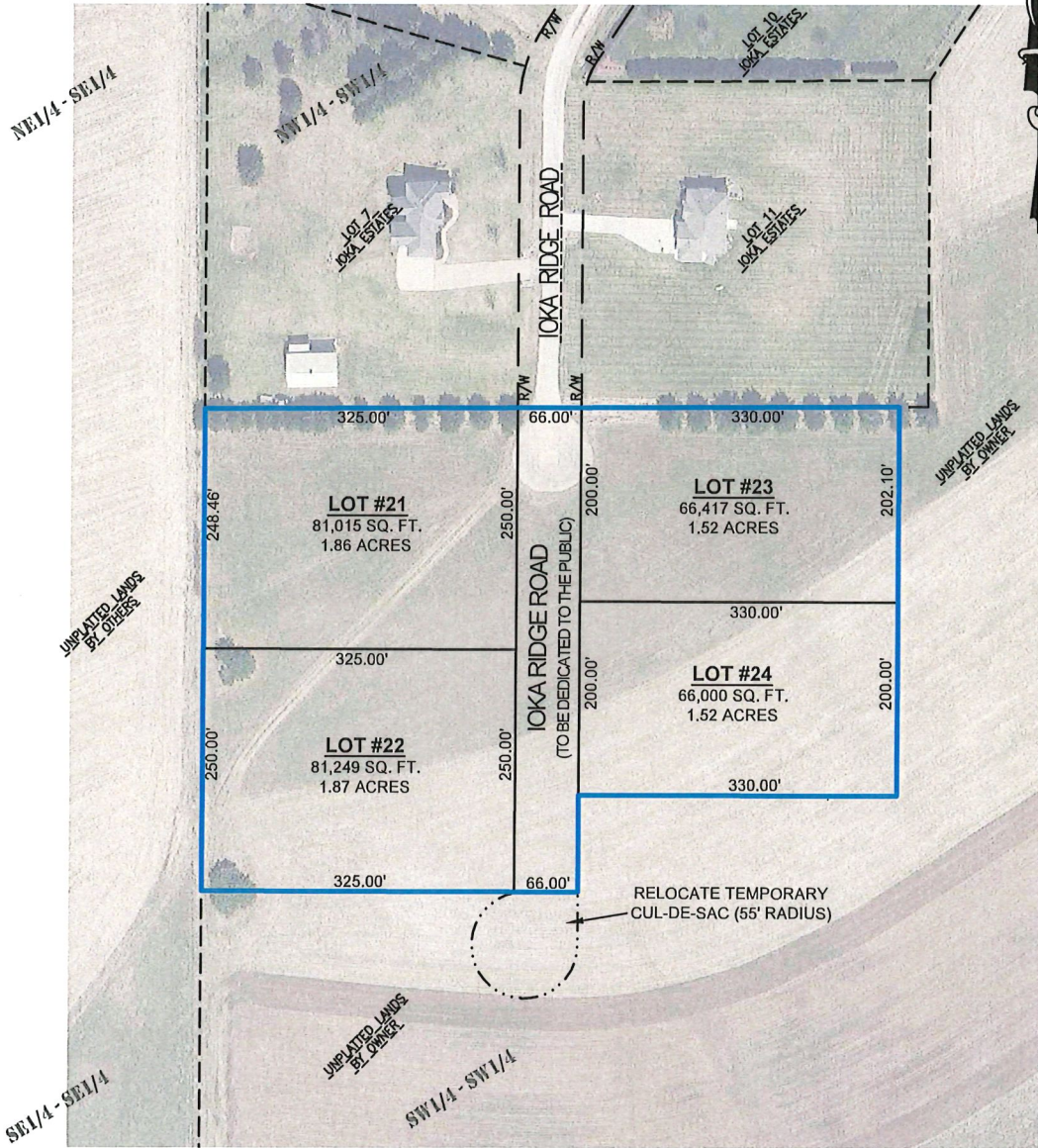


COUNTY SURVEY MAP NO. \_\_\_\_\_

# CERTIFIED SURVEY MAP

LOCATED IN THE SW1/4 OF THE SW1/4 OF SECTION 3, T3N, R1W  
OF THE 4th P.M., TOWN OF PLATTEVILLE, GRANT COUNTY, WISCONSIN

FOR RECORDING PURPOSES



SCALE: 1" = 150'



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PLATTEVILLE, WISCONSIN 53818

FOR: GERARD & ROXZANNE ABING  
5419 SOUTHWEST ROAD  
PLATTEVILLE, WISCONSIN 53818

DATE(S) OF FIELDWORK: 12/2024  
FIELD CREW: A.LOEFFELHOLZ  
DRAWN BY: B.FERGUSON  
REVIEWED BY: D. DREESSENS

DELTA 3 PROJECT NO.: D24-217  
DATA LOCATION: D24-217

SHEET 1 OF 3